



JUNEE SHIRE COUNCIL

ATTACHMENT TO GENERAL MANAGER'S REPORT

2019

**Item
No.**

Subject

**8[DCB] AMENDMENT TO JUNEE DEVELOPMENT CONTROL PLAN
(DCP) 2015**

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CHAPTER 5 - JOHN POTTS ESTATE

5.1 OBJECTIVES

The objectives of this Chapter are to:

- set standards for quality residential development within the John Potts Estate locality of Junee,
- provide a variety of housing opportunities and residential lifestyle choices,
- promote the establishment of high quality residential environment for the implementation of innovative design,
- create an urban environment that relates to the existing and desired future neighbourhood character responsive to the heritage of the site and that is environmentally sensitive,
- ensure new development is compatible with the heritage significance of the Monte Cristo buildings and ridgeline prominence,
- ensure that new developments are low rise and sympathetic to the contours of the ridgelines to minimise the visual intrusions of “hard” surfaces and maximises vegetation growth,
- promote building footprints and envelopes that are not bulky or is of a scale that impacts on views, privacy, noise and open space enjoyment of a residential amenity,
- ensure the impacts of the building form are offset by the development of open space and setbacks for harmonious residential amenity,
- promote the siting, construction, and services that are energy efficient, and sustainable,
- promote the use of materials and colours that are sympathetic to residential and heritage amenity avoiding “harsh” conflicts with surrounding development, and
- to ensure that the uses within the development are safe and compatible to residential amenity.

5.2 LOCATION OF JOHN POTTS ESTATE

The Chapter applies to all land within the area commonly known as John Potts Estate.

Explanation of proposed amendment:

Additional text to reinforce the applicability of the Chapter



Map expanded (as highlighted in green shading) to include:

- 1) the area south of Hilton Place where a possible Stage 8 development may occur,
- 2) the area west of John Potts Drive where a 12-lot subdivision and road extension has been improved,
- 3) the area west of Burns Park where a 52-lot seniors living estate has been approved, and
- 4) the area north of St Joseph's School where a 21-lot subdivision and road extension has been approved.

5.3 DEVELOPMENT CONTROLS

5.3.1 SUBDIVISION

Land capability assessment

A land capability assessment is required to support the development of this land and this assessment will identify:

- soil types to determine suitable structural design of foundations and footings suitable to sustain the load bearing of the structure,
- terrain contours and physical building constraints,
- slope,
- the heritage impact of the Monte Cristo building being a prevailing feature,
- the views of other allotments,

- geological conditions,
- measures to prevent erosion and land degradation,
- the lack of absorption of the soil and allotment conditions for stormwater disposal, and
- surface water runoff including subsoil water diversion and conditions encountered with cut and fill and rock upon allotments.

Allotment size/Dimensions/Building envelope

- The minimum allotment size will be not less than 500 square metres. In the case of battle axe lots – subdivision – the minimum area does not include the access corridor.

Note: In the case of Community Title subdivision the minimum size for an allotment created by subdivision does not apply to Lot 1 – the neighbourhood property.

- The access driveway to battle axe allotments shall have a minimum width of five metres. Two metres of the access width shall be landscaped with shrubs adjacent to the boundary.

- **All proposed subdivisions are to include future building envelopes for each allotment confirming that adequate area is available for future residential development complying with relevant building standards such as:**

- **Building setbacks**
- **Onsite parking**
- **Private open space**
- **Vehicle site distances**
- **Provision of services and easements**
- **Onsite effluent disposal (where no reticulation sewer is available)**

- **The front setback of the building shall be:**

- **5m to garages carports or other structures related to the parking of vehicles**
- **5m to Verandahs and pergolas**
- **7m to the external walls of any dwelling**

- **The secondary building alignment to corner allotments shall be three metres.**

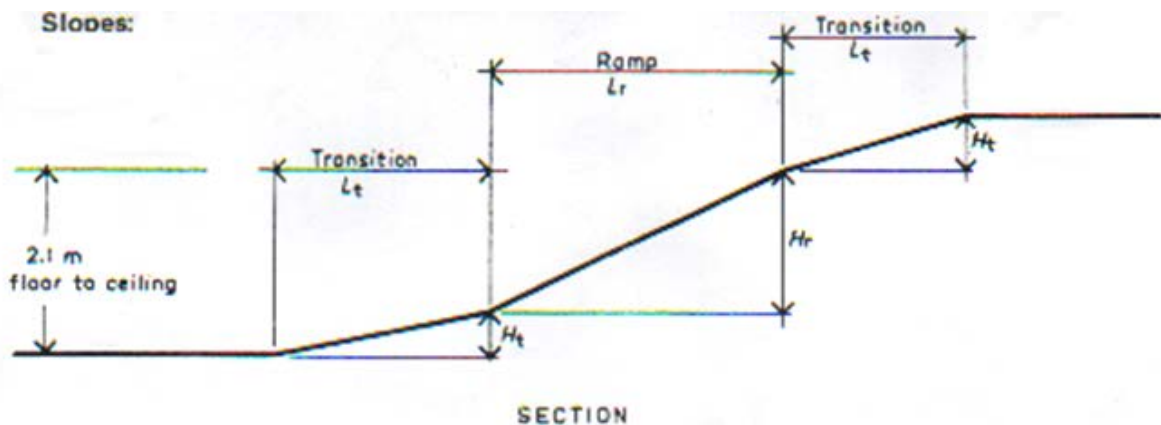
- **Garage and parking structures shall be sited and designed not to dominate the street frontage.**

Additional controls proposed regarding future sub-division of land and maintenance of amenity, impact on adjoining properties and streetscape (particularly associated with corner allotments)

Setback and related controls deleted from this section and included elsewhere. Note that the proposed controls inserted later align with the Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

Access

- Access to the allotments shall meet engineering standards to a dust free standard including formed and paved vehicle access to the property boundary at the allotment. Internal driveways shall be formed and paved to a dust free surface.
- The access shall have clear sight visibility to and from the allotment and to vehicles traversing the public roads.
- The grade to the public roads shall allow for transition and clear sight visibility of vehicles entering from the allotments to the public road and road verges.
- Access to rear yards shall not be permitted from Council reserves.
- Road access or internal ramps, slopes and transitional grades/distances shall be as follows:
 - 1:6 maximum down ramp slope
 - 1:7 maximum slope for ramp general use
 - 1:8 maximum up ramp slope
 - 1:12 transitional slope for 1:6 ramp - transitional length 2 metres.
 - 1:14 transitional slope for 1:7 ramp – transitional length 2.5 metres.
 - 1:15 transitional slope for 1:8 ramp – transitional length 3.7 metres.



Ramp pitches — $H_r : L_r$

- 1:6 Maximum down ramp slope
- 1:7 Maximum slope for ramp general use
- 1:8 Maximum up ramp slope
- 1:10 Recommended ramp slope for general use
- 1:12 Transition slope for 1:6 ramp... Transition length L_t 2.0 m
- 1:14 Transition slope for 1:7 ramp... Transition length L_t 2.5 m
- 1:15 Transition slope for 1:8 ramp... Transition length L_t 3.7 m
- 1:20 Transition slope for 1:10 ramp — steepest recommended slope for sloping floor parking... Transition length L_t 3.7 m

Services

- Services required to be provided to each allotment including reticulated water supply.

Water

- A reticulated potable (public) water supply being provided by Goldenfields Water County Council. If rain water tanks are installed they are required to be of a muted colour.

Electricity, Telephone and NBN (National Broadband Network)

- Electricity, telephone and NBN services shall be connected by underground services to each allotment in accordance with service provider's requirements.
- Service locations should be submitted to the respective utility authority and service providers to ensure services are available.

Sewerage

- Sewerage from all properties shall be connected to the sewer mains of the Junee Shire Council.

Stormwater

- Stormwater disposal shall be to the piped stormwater easements or the street kerb and gutter as provided in the subdivision.
- Overflows from tanks shall be piped to stormwater easements or the street kerb and gutter.
- Public water supplies are not to be interconnected to rain water tanks, unless there are cross contamination protection devices or an air gap in accordance to the standards required by the water supply authority.

5.3.2 BUILDING STANDARDS

- Cut and fill – preparation of the site should be minimal. If retaining walls exceeding 600mm in height are necessary, these should be designed by a structural engineer allowing for drainage of ground waters from behind the retaining wall. Preference is for 1:3 batter slopes to be utilised that are suitably retained with landscaping.

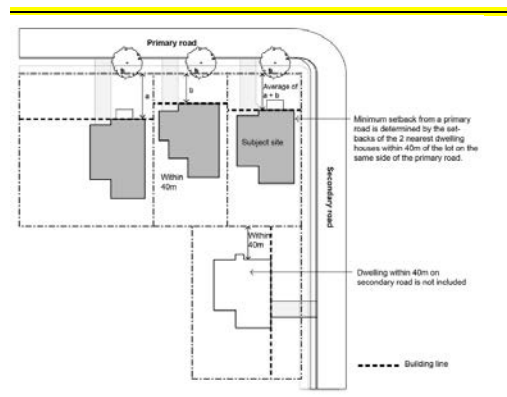
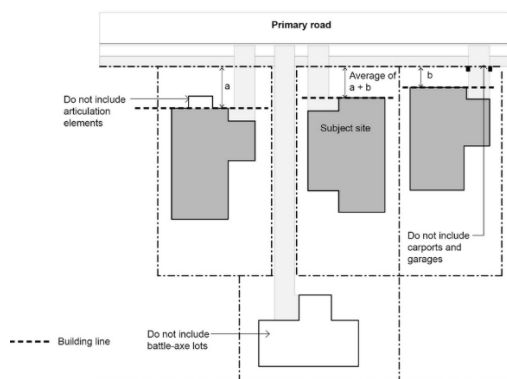
NBN recognised and added

Additional clarity added by specifying retaining wall height of interest

Minimum building line setbacks to Primary and Secondary road frontages

- **Primary road setbacks**
 - a. the primary road setback of a dwelling house and any attached development must not be less than the average primary road setback of the 2 nearest dwelling houses on the same side of the primary road,
 - b. for the purpose of determining the primary road setback of the 2 nearest dwelling houses, the following are not to be included:
 - i. dwelling houses on battle-axe lots,
 - j. any attached development or detached development on other lots,
 - k. building elements in the articulation zone,
 - c. if there are not two dwelling houses within 40 metres of the lot on the same side of the primary road, the dwelling house and any attached development must have a minimum setback from the primary road as shown in the following table:

Lot Size	Minimum setback from primary road
Up to 1,500m²	4.5 metres
Greater than 1,500m²	10 metres

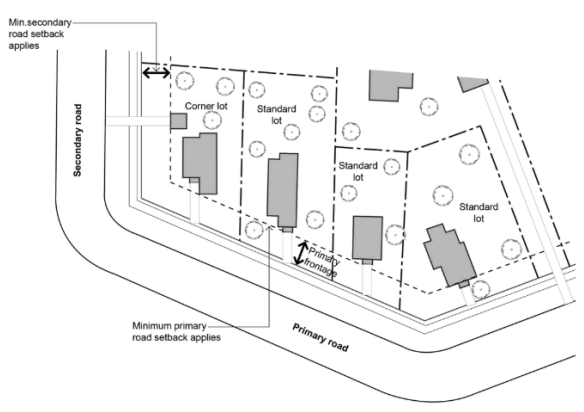


- **Secondary road setbacks**

Additions mimic the Complying Development SEPP controls. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

- a. a dwelling house and any attached development must have a minimum setback from a boundary with a secondary road as shown in the following table;

Lot Size	Minimum setback from secondary road
Up to 1,500m²	3 metres
Greater than 1,500m²	5 metres



Articulation Zones

Articulation Zone means an area of a lot forward of the building line within which building elements are permitted to be located, being an area measured from:

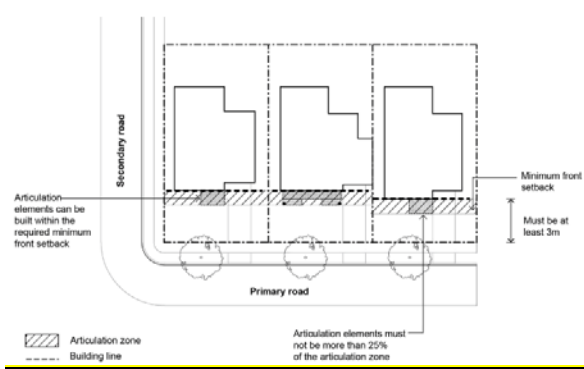
- (a) one side boundary of the lot to the opposite side boundary of the lot, or
- (b) if the lot is a corner lot—the secondary road boundary of the lot to the boundary opposite the secondary road boundary.

- **Primary road frontages**

A dwelling house may have an articulation zone that extends up to 1.5 metres forward of the minimum required setback from the primary road.

- a. the following building elements may be located in the articulation zone
 - i. an entry feature or portico
 - ii. a balcony, deck, patio, pergola, terrace or verandah
 - iii. a window box treatment
 - iv. a bay window or similar feature
 - v. an awning or other feature over a window
 - vi. a sun shading feature
 - vii. an eave
- b. the maximum total area of all building elements in the articulation zone, other than a building element specified in subclause (b)(v)(vi)(vii) above, must not be more than 25% of the area of the articulation zone.

Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.



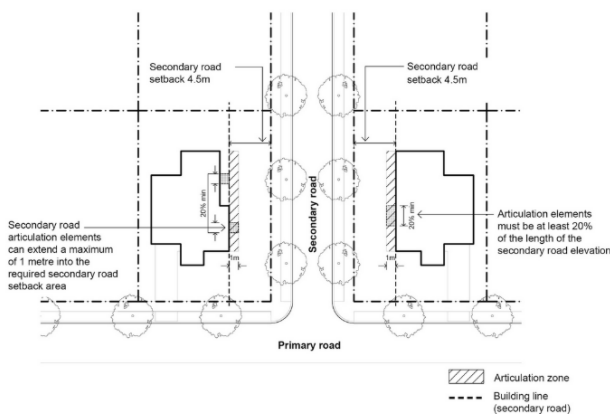
Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

- c. A building element on a dwelling house (other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house) must not exceed:
 - i. More than 1 metre above the gutter line of the eaves of a single storey dwelling house
 - ii. Above the gutter line of the eave of a 2 storey dwelling house.

- Secondary road frontage on corner lots.

Building elements listed in subclause (b) above may be located in a secondary road articulation zone if:

- a. the zone extends no more than 1 metre into the minimum required setback area and spans the length of the walls that face the secondary road, and
- b. the building element comprises no more than 20% of the zone area.



Exceptions to setbacks

- Development to which road setback do not apply – The standards specified above do not apply to the following:
 - a. eaves if they constructed within 1 metre of the dwelling
 - b. driveways.
 - c. pathways and paving.

- d. retaining walls.
- e. any building elements that are permitted within a primary or secondary articulation zone

Other Controls

- The maximum number of storeys permitted upon any residence is two within the building envelope as specified by the Council.
- Outbuildings shall be a maximum height of 4.8m at the highest part of the structure.
- Buildings should be sited and designed to ensure:
 - a. reasonable daylight to habitable rooms and adjacent dwellings,
 - b. overshadowing of neighbours including open space and main living area windows is kept to a minimum, and
 - c. solar access is available to living rooms between the hours of 9.00am and 5.00pm for a minimum of three hours on 21 June of each year.
- Front walls of any dwelling visible from the street shall not exceed 5 metres in length without a physical change, i.e. window or a directional change.
- Blank street frontages facades with no windows shall not be permitted. The side walls in any one dwelling visible from the street or public place shall not exceed 10 metres in length without a physical change.
- A shadow diagram is required where orientation, slope of site, or distance between the buildings create the potential for overshadowing.
- The shadow diagram shall include the following:
 - a. North point
 - b. Scale
 - c. Position of existing and proposed buildings and private open space on the site
 - d. Position of existing buildings and private open space on adjoining land
 - e. Shadows cast on existing and proposed buildings at the winter solstice – 21st June for 9.00am, 12 noon and 3.00pm.
- The use of zincalume or shiny building materials will not be permitted on houses and outbuildings.
- The area and size of any outbuilding shall not exceed the area and size of the residence upon the allotment.

Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

Section heading (Other controls) added

- Habitable room windows of adjacent dwellings within a distance of 9 metres:
 - a. should be offset by a suitable distance to limit views between windows; or
 - b. should have sill heights of 1.7 metres above floor level; or
 - c. should have fixed translucent glazing in any part of the window within 1.7 metres of the floor height; or
 - d. should use other means to obscure the view between windows.
- The siting of elevated landings and verandahs or a swimming pool should not adversely impact upon the privacy and enjoyment of the adjoining residential allotments. This extends to any noise generating equipment associated with the operation of a swimming pool.
- ~~Rear yard access is required for vehicles. This could include drive through carports or garages.~~
- Existing building intended to be re-sited or relocated to lands within this plan will not be permitted.
- ~~External veneering material to dwellings shall not exceed 50% textural fibrous cement product either in sheet or plank form. Where fibrous cement products are proposed to be coated with a masonry stand in product a higher percentage of material may be permitted.~~
- ~~No front fence at the street frontage.~~
- ~~The height of rear yard fences shall not exceed 1.8 metres.~~
- ~~Side fences forward of the building frontage shall be limited to a maximum height of 0.7 of a metre.~~
- ~~No landscaping is permitted on corner intersections within a splay of 9 metres at the property boundary intersection that obscures sight visibility of vehicles at that intersection.~~
- Boundary fences shall:
 - a. not be higher than 1.8 metres above ground level (existing), and
 - b. not be of masonry construction to a height that is more than 1.2 metres above ground level (existing), and
 - c. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - d. not to be electrical fence or barbed wire
- Fences located along the boundary of, or within the setback area to a primary road must:
 - a. not to be higher than 1.2 metres above ground level (existing)

Deleted as considered unnecessary DCP content

Deleted as considered unnecessary and overly prescriptive control

Fencing controls reworded below to mimic and align with Exempt Development controls. This will result in improved consistency in outcomes.

- b. be open for at least 20% of the area of the fence that is more than 400 millimetres above ground level (existing), with any individual solid elements of the fence above this height being no more than 350 millimetres in width with a minimum aperture of 25 millimetres.
 - c. if it includes an entrance gate – does not have a gate that opens outwards onto the road reserve, and
 - d. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - e. not to be electrical fence or barbed wire
- Fences located along a boundary with a secondary road or roads must:
 - a. not to be higher than 1.2 metres above ground level (existing) for a length of not less than 50% of the secondary road boundary, measured from the corner with a primary road.
 - b. if it includes an entrance gate – does not have a gate that opens outwards onto the road reserve, and
 - c. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - d. not to be electrical fence or barbed wire.
- Fences on sloping sites that are stepped to accommodate the fall in the land may:
 - a. for fences that are required to be not more than 1.2 metres in height shall not exceed 1.5 metres above ground level (existing) at each step, and
 - b. for fences that are required to be not more than 1.8 metres in height shall not exceed 2.2 metres above ground level (existing) at each step.
- No landscaping is permitted on corner intersections within a splay of 9 metres at the property boundary intersection that obscures sight visibility of vehicles at that intersection.
- The siting of landscaping should recognise that the height of mature plants, shrubs or trees should not remove the entitlement of adjoining allotments for solar access to living rooms, bedrooms and equipment, i.e. solar heaters. The location of trees which will mature would be considered on their merits if the plantings would have some benefits to the adjoining property owner such as western shade.
- The front building setback shall have landscaping to at least 50% of the area.
- Driveways and off street parking shall occupy no more than 50% of the area.

Fencing controls reworded to mimic and align with Exempt Development SEPP controls. This will result in improved consistency in outcomes.

5.3.3 RESTRICTIONS

The following prohibitions and restrictions apply to the land (in addition to the LEP RU5 zone tables):

- ~~No intensive animal husbandry or keeping.~~
- No horse stables.
- ~~No intensive poultry keeping or flocks of more than 20 birds upon the property.~~
- Fowl and poultry keeping is to be limited to a maximum of 10 fowl or poultry and rooster are prohibited.
- ~~No animal boarding establishments.~~
- No bee keeping.
- Industrial activities are not permitted

5.3.4 UNIT DEVELOPMENTS

- Design of frontages to the streetscape provides for variety and shall not be dominated by undesirable facades, driveways and car parking facilities.
- The land area for each unit occupancy requires a minimum site area of:
 - 550 square metres for each **“large dwelling unit”**
 - 450 square metre for each **“medium dwelling unit”**
 - 350 square metres for each **“small dwelling unit”**
- For multiple unit development site manoeuvrability area has to be provided to enable entry and exit from the site in a forward direction.
- For unit development, private open space to ground floor units shall have a consolidated area 50 square metres, areas having a minimum dimension of 4m x 4m.
- Private open space for upper levels shall be 10 square metres for each unit and have minimum dimensions of 2m x 2.5m.
- Private open space shall not include driveways, turning areas, car spaces, or narrow elongated curtilage areas and service areas. Screening shall be provided to ensure privacy to users of the open space.
- Where a unit development subdivision is proposed for five or more units, the road access shall have the appropriate dimensions and construction for traverse by service vehicles including garbage trucks and emergency services such as fire brigade and ambulances.

The LEP imposes a number of restriction in the RU5 zone which don't need to be repeated in the DCP. These are removed leaving only the desired additional restrictions specific to the John Potts Estate.

- Car parking needs on site shall be provided according to the style of development and number of bedrooms:
 - A **large dwelling unit**– two secured car spaces
 - A **medium dwelling unit** – ~~1.5~~ one secured car spaces
 - A **small dwelling unit** – one secured car park space
- ~~Visitor car parking for a unit development shall be determined at 0.5 of a space for each unit above two unit tenancies. Where there is a fraction of a space, the requirement is rounded up to the total higher space.~~
- Visitor car parking for a unit development shall be determined in accordance with NSW Roads and Maritime Services (RMS) guidelines.
- Where new development is proposed, on site car-parking including visitor car parking shall be provided behind the street setback.
- Driveway widths – where there is a unit development, the driveway width shall be 3.5m. Where there are more than two units on the allotment, the driveway width shall be 6m wide between the property boundary and the kerb line.
- Where the driveway services 5 or more units, a 6m wide passing bay shall be included within the site.
- Services shall be provided to each allotment and each unit shall:
 - be capable of being independently metered for consumption of water, electricity, gas,
 - have a stop cock to the water service to enable individual unit service repairs to occur without disruption to supply to other associated units,
 - have a separate surcharge gully with the nominal surcharge gully not located in the exclusive private open space of an individual unit, and
 - hot water services shall not be shared between units.
- Multi-unit development shall in the design consideration include an assessment of Crime Prevention strategies.
- Where development of high value in both design and size are outside of the listed criteria a pre-lodgement development meeting should be sought with Council.

Parking requirements clarified with reference to RMS guidelines

CHAPTER 6 – RESIDENTIAL DEVELOPMENT

6.1 OBJECTIVES

The objectives of this Chapter are to:

- create an urban environment that relates to the existing and desired future neighbourhood character, is responsive to the site and is environmentally sensitive,
- conserve the contemporary heritage of existing developments to ensure a sympathetic compatibility with any future development,
- enable commercial and industrial development to be established in appropriate locations relative to need, access and services in a manner that will minimise environmental impacts,
- provide for a variety of housing opportunities and residential lifestyle choices,
- set standards for residential development, and
- ensure that all development takes account of amenity of the adjoining and surrounding land with respect to views, privacy, convenience and safety

6.2 APPLICATION OF THIS CHAPTER

This Chapter applies to the urban areas of the township of Junee and the villages of Illabo, Old Junee and Bethungra on land that is zoned RU5 'Village' under the Junee Local Environmental Plan 2012 (excluding John Potts Estate as defined in Chapter 5). The urban areas of the towns are generally where the community is. These are the urban areas of the town and villages that are generally more closely populated for which impacts on developments are more significant. The range of urban development can cover commercial activities, industrial pursuits, community purpose buildings, and residential development. The interaction of these aspirations for employment, recreation and residential amenity has to recognise the impact upon existing services and for the planning of economic and practical solutions for future development.

The residential standards will vary according to location, the availability of services, and effluent disposal systems. In Junee the subdivision pattern has been established for the older parts of the town. In some parts of Junee, private covenants (Section 88B Instruments) and planning restrictions may also exist upon building materials, setbacks, fences and size of the building.

Explanation of changes:

Additional text and minor rewording to bring clarity

Insertion of terminology

Certain multiple residential buildings may only be permitted if a public sewerage system is available.

This Chapter does **not** apply to the Large Lot Residential (R5) zoned land (Chapter 7), Crawley Estate (Chapter 3), Tathra Drive Estate (Chapter 4) or John Potts Estate (Chapter 5).

Section 88B Instruments may contain ~~There are some private covenants upon certain lands which dictate the style of house and building, materials to be used and setbacks. For example, current covenants include exists within~~ Grandview Estate bounded by Cassia Way, Telopea Place, Melaleuca Place, Lydia Street, Casuarina Place, Acacia Place, Boronia Place and Banksia Place. Variations to covenants require the approval of the Supreme Court of NSW and notification to all adjoining property owners in the Estate.

There are different neighbourhood character locations reflecting the contemporary development of Junee. In the older areas, subdivision patterns were established on existing development patterns. In new areas Council will consider contemporary standards.

The type of development and the availability of services will also influence the potential for any development and the capacity of the environment to sustain impact from development. Certain urban village zones at Bethungra, Illabo and Old Junee would have limited capacity for intensified developments or residential flat buildings due to the absence of sewerage reticulation.

A flood level has been determined for specified lands in Junee, Illabo and Bethungra. Determination of development in these areas is subject to the requirements of the Junee Local Environmental Plan 2012, statutory authorities, and any flood plain management policy or plan adopted by the Council.

6.3 KEY CONSIDERATIONS FOR URBAN DEVELOPMENT

In addition to the objectives of this Chapter any new development will need to consider the following:

- **Urban Interface.** The development has to recognise that there are general urban zones in existence whereby commercial, industrial and residential development may co-exist and potential interface conflicts should not disrupt the safety or amenity of the locality.
- **Heritage and Visual Intrusion.** To be compatible to the heritage significance of the Heritage Conservation Precinct and not detract from significance of any heritage recorded building.

Additional text for clarity

Additional text for clarity

- **Streetscape.** To encourage landscaping of street frontages and front yards to give a pleasing effect and visual intrusions of hard surfaces are minimised and softened.
- **Building Form.** To enable building footprint and envelope that is not bulky or as a scale that impacts on views, privacy, noise and open space enjoyment of the surrounding neighbourhood.
- **Open Space, Privacy & Setbacks.** Impacts of any development are to be offset by the potential of the development on open space and setbacks for harmonious residential amenity.
- **Sustainability & Solar Access.** The siting, construction of services for residential need are energy efficient, sustainable and conservation practices are applied.
- **Use.** Use of the development is safe and compatible to the surrounding amenity.
- **Off Street Car Parking.** That access to and car parking facilities on site be adequate for the form of development.

6.4 DEVELOPMENT CONTROLS

6.4.1 SUBDIVISION AND PHYSICAL INFRASTRUCTURE

Any subdivision proposal and physical infrastructure is required to address the following:

Design

Council is not a consultant for design purposes or a financier for the provision of delivery of land. It has to be realised that these are the responsibilities of the applicant and property owner to meet these costs in supplying a suitable product to the market. Council will assess the design and services necessary for an approval or consent to be granted. It also has to be recognised that the physical infrastructure services have to be a standard that will withstand use and maintenance for the subsequent purchaser or consumer.

The main issue is to carry out a land capability assessment as the initial step for any residential development.

Land capability assessment

The elements involved with a land capability assessment are:

Heading inserted

*Introduction reworded
below*

A land capability assessment is required to support the development of this land and this assessment will identify:

- The land is investigated for soil types to determine suitable structure and design of foundations and footings to sustain the load bearing of any structure.
- The terrain contours and physical building constraints.
- Slope.
- The impact on any heritage conservation precinct.
- Site dimensions for enabling a building structure to be located.
- The availability of services.
- The views of other allotments.
- Geological conditions prevailing.
- The suitability of soil for effluent absorption and allotment conditions for stormwater disposal.
- Surface water runoff including subsoil water diversion and conditions encountered with cut and fill upon allotments.
- Over shadowing of neighbouring properties.
- Access to the property.
- Orientation and energy efficiency in development.
- **Set-backs, and clearances and vehicle site lines.**
- Potential nuisance impacts or environmental degradation by site use.

Allotment Size/Setbacks/Building Envelopes

~~These will vary according to the intended use of the allotments, i.e. residential, residential flats, commercial or industrial and the requirements of the Lot Size Maps under the Junee Local Environmental Plan 2012.~~

Residential – Allotment Size & Dimensions

- ~~The minimum allotment size for a dwelling house is 500 square metres (Note: In certain subdivisions such as the Eastvale Estate, the allotment size may historically be 670 square metres or greater.)~~
- ~~The access area of a battle-axe allotment is not part of the minimum site area.~~

Reworded introduction

Addition of vehicle site lines requiring assessment

This section deleted here and reinserted later with amendments

This section deleted here and reinserted later with amendments

- The front street setback is nominally seven metres, although in certain subdivisions, ie. Eastvale Estate, a lesser setback of 5.5 metres may prevail.
- In the older established areas, Council will consider the setbacks relevant as the existing building profiles for any “infill” or redevelopment potential.
- For corner allotments, a secondary setback of 3 metres applies.
- Setbacks are also required for certain easements which are related to water, stormwater or sewer pipes.
- In village areas the absence of sewerage means that on site effluent disposal has to be considered in developing a suitable allotment size.
- For multiple residential developments, Torrens Title subdivision of the land/allotment will not be permitted unless the allotment size meets the minimum site requirement of 500 square metres.
- The allotment size for a community title may be less for an allotment nominated as a communal lot.
- Site and rear boundary setbacks are generally considered a minimum of one metre. Where a zero boundary setback is proposed, Council has regard to the effect of privacy and solar access entitlements to the adjoining lots.
- Where buildings are sited with less than one metre, the fire and sound resistance constructions will be required.
- A dwelling house shall allow for the provision of two car spaces.

Residential Allotments

- The minimum allotment size for residential development will be not less than 500 square metres. In the case of battle axe lots – subdivision – the minimum area does not include the access corridor.

Note: In the case of Community Title subdivision the minimum size for an allotment created by subdivision does not apply to Lot 1 – the neighbourhood property.

- The access driveway to battle axe allotments shall have a minimum width of five metres. Two metres of the access width shall be landscaped with shrubs adjacent to the boundary.
- All proposed subdivisions are to include future building envelopes for each allotment confirming that adequate area is

New heading and detail inserted here relating to battle axe lots and subdivision

available for future residential development complying with relevant building standards such as:

- Building setbacks
- Onsite parking
- Private open space
- Vehicle site distances
- Provision of services and easements
- Onsite effluent disposal (where no reticulation sewer is available)

Business, Commercial & Industrial Allotments

- The size of allotments for such purposes is determined according to the need of the development. The Lot Size Maps in the Junee Local Environmental Plan 2012 provides an indication of the minimum lot sizes in business, commercial and industrial areas of Junee.
- The traffic generation guidelines of the RTA Roads and Maritime Services (RMS) set the standard for access, building setbacks, car parking, loading bays, and site visibility issues. In addition, the development has to be self-sufficient in terms of prior treatment of effluent disposal and waste storage.
- The size of the development incurs fire resistant safeguards to be observed to side and rear boundaries as well as any other buildings that may be located on the site.
- Entry and exit from a commercial or an industrial site is required to be in a forward direction which requires manoeuvrability upon the site. (The circumstances of existing development may prevail where concessions are recognised in terms of access and traffic movements.)
- Visitor and customer/employee car parking arrangements on site are determined according to the traffic generation guidelines of the RTA RMS.
- Pavements crossing over footpath and road entry to the site to a public road are required to withstand industrial and heavy vehicle use. The internal site movements should recognise the protection of services and have pavement to withstand use of heavy vehicles.

Access

- Access to the allotments shall meet engineering standards to a dust free standard including formed and paved vehicle access to

Additional controls proposed regarding future sub-division of land and maintenance of amenity, impact on adjoining properties and streetscape (particularly associated with corner allotments)

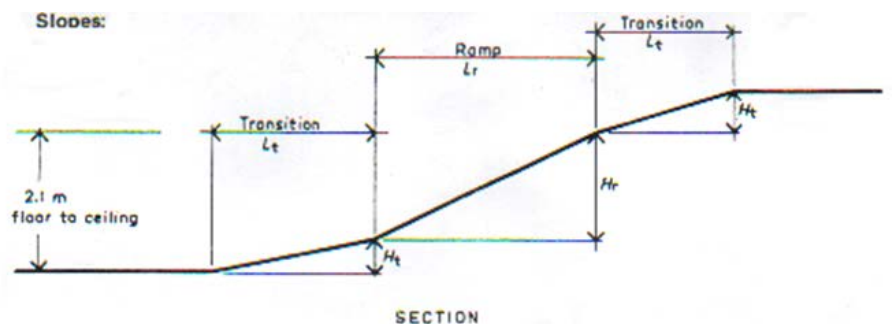
RTA reference updated

This section moved here from later in the current DCP

the property boundary at the allotment. Internal driveways shall be formed and paved to a dust free surface.

- The access shall have clear sight visibility to and from the allotment and to vehicles traversing the public roads.
- The grade to the public roads shall allow for transition and clear sight visibility of vehicles entering from the allotments to the public road and road verges.
- Access to rear yards shall not be permitted from Council reserves.
- Road access or internal ramps, slopes and transitional grades/distances shall be as follows:

- 1:6 maximum down ramp slope
- 1:7 maximum slope for ramp general use
- 1:8 maximum up ramp slope
- 1:12 transitional slope for 1:6 ramp - transitional length 2 metres.
- 1:14 transitional slope for 1:7 ramp - transitional length 2.5 metres.
- 1:15 transitional slope for 1:8 ramp - transitional length 3.7 metres.



Ramp pitches — $H_r : L_r$

- 1:6 Maximum down ramp slope
- 1:7 Maximum slope for ramp general use
- 1:8 Maximum up ramp slope
- 1:10 Recommended ramp slope for general use
- 1:12 Transition slope for 1:6 ramp... Transition length L_t 2.0 m
- 1:14 Transition slope for 1:7 ramp... Transition length L_t 2.5 m
- 1:15 Transition slope for 1:8 ramp... Transition length L_t 3.7 m
- 1:20 Transition slope for 1:10 ramp — steepest recommended slope for sloping floor parking... Transition length L_t 3.7 m

Services

- Services required to be provided to each allotment including reticulated water supply.

Amended (simplified)
wording for Services

Water

- A reticulated potable (public) water supply being provided by Goldenfields Water County Council. If rain water tanks are installed they are required to be of a muted colour.

Amended (simplified) wording for Water

Electricity, Telephone and NBN (National Broadband Network)

- Electricity, telephone and NBN services shall be connected by underground services to each allotment in accordance with service provider's requirements.
- Service locations should be submitted to the respective utility authority and service providers to ensure services are available.

Reference to NBN added

Sewerage

- All properties within the Junee township area shall be connected to the sewer mains of the Junee Shire Council.

New reference to sewer connections

Stormwater

- Stormwater disposal shall be to the piped stormwater easements or the street kerb and gutter as provided in the subdivision.
- Overflows from tanks shall be piped to stormwater easements or the street kerb and gutter.
- Public water supplies are not to be interconnected to rain water tanks, unless there are cross contamination protection devices or an air gap in accordance to the standards required by the water supply authority.

Simplified wording

6.4.2 BUILDING DESIGN & CONSTRUCTION

Dwelling houses

- There are material restrictions and size requirements for houses built in the Grandview Estate and the Eastvale Estate.

These sections re-distributed in other parts of the proposed amended document. Significant changes are noted alongside new text.

Orientation

- With any new development or redevelopment, the orientation of the building should recognise the need for at least three hours solar access to any habitable room on the winter solstice of 21 June. The habitable room hours range from 9.00am to 5.00pm.

- Overshadowing of neighbours property (including open space and main living area windows) is required to be kept to a minimum.
- Energy efficient construction practices with design issues, orientation, and selection of materials will be required to be observed in the Building Code of Australia. (Note: There may be concessions permitted for existing buildings that have difficulty in achieving orientation or construction requirements in the older residential areas.)

Shadowing and Energy Efficiency

- The maximum number of storeys permitted on any residence or outbuilding is two within the building envelope as specified and required with setbacks.

Site Conditions

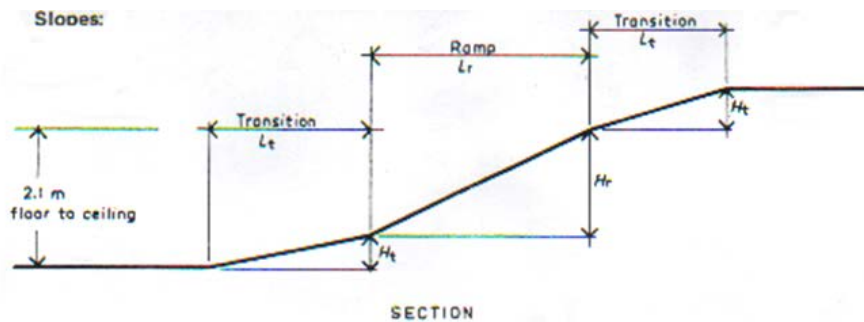
- Cut and fill preparation of the site should be minimal. If retaining walls exceed 600mm they must be designed by a structural engineer allowing for drainage of ground waters from behind the retaining wall. Preference is for 1:3 batter slopes to be utilised that are suitably retained with landscaping.

Access

- Access to the allotment shall meet engineering standards to a dust free standard including formed and paved vehicle access to the property boundary allotment.
- The access shall have clear sight visibility to and from the allotment and to vehicles traversing the public roads.
- Grade to the public roads — the grade to the public roads shall allow for transition and clear sight visibility of vehicles entering the allotments to the public road and road verges.
- Access to rear yards shall not be permitted from Council's reserves.
- Road access or internal ramps, slopes and traditional grades/distances shall be as follows:
 - 1:6 maximum down ramp slope
 - 1:7 maximum slope for ramp general use
 - 1:8 maximum up ramp slope
 - 1:12 transitional slope for 1:6 ramp — transitional length 2 metres
 - 1:14 transitional slope for 1:7 ramp — transitional length 2.5 metres

These sections re-distributed in other parts of the proposed amended document. Significant changes are noted alongside new text.

1:15 transitional slope for 1:8 ramp — transitional length 3.7 metres



Ramp pitches — $H_r : L_r$

- 1:6 Maximum down ramp slope
- 1:7 Maximum slope for ramp general use
- 1:8 Maximum up ramp slope
- 1:10 Recommended ramp slope for general use
- 1:12 Transition slope for 1:6 ramp... Transition length L_t 2.0 m
- 1:14 Transition slope for 1:7 ramp... Transition length L_t 2.5 m
- 1:15 Transition slope for 1:8 ramp... Transition length L_t 3.7 m
- 1:20 Transition slope for 1:10 ramp — steepest recommended slope for sloping floor parking... Transition length L_t 3.7 m

These sections re-distributed in other parts of the proposed amended document. Significant changes are noted alongside new text.

Fences and Frontages

- No front fences are permitted in the Grandview and the Eastvale Estates. Where side fences are intended for those estates, the height of the fence in front of the building to the street frontage shall not exceed 700mm. Where there is a corner intersection within those estates, the side street boundary shall have no fencing within 9m of the front street intersection.
- Garage and parking structures shall be sited and designed not to dominate the street frontage.
- The front wall of any dwelling visible from the street shall not exceed 5m in length without a physical change, ie. window or directional change.
- Blank street facades with no windows shall not be permitted. The side walls of any one dwelling visible from the street or public place shall not exceed 10m in length without a physical change.
- The use of zincalume or shiny building materials will not be permitted on house and outbuilding walls. The use of zincalume on dwelling roofs shall consider the glare to any nearby residence on adjoining lots that may be at a higher profile or terrain contour. Council may determine that the use of such

shiny material would be unsuitable. Galvanised iron can be considered as an alternative material.

Privacy

- Habitable rooms and windows of adjacent dwellings and units within a distance of 9m apart:
 - (a) should be offset by a suitable distance to limit the views between windows; or
 - (b) should have sill heights of 1.7m above floor levels; or
 - (c) should have fixed translucent glazing in any part of the window within 1.7m of the floor height; or
 - (d) should use other means to obscure the view between windows.

Outbuildings

- The size of any outbuilding should not exceed the size of the main dwelling unit.

Heritage Precinct

- The design, construction and siting of buildings, fences and other structures in the heritage precinct is a controlled activity which may require referral to other statutory authorities. The location of signs external colour schemes and sign writing on such buildings within the heritage precinct requires development consent.

Car Parking

- Car parking will be provided according to the style of development and number of bedrooms. For commercial and industrial car parking, calculations are in accordance with traffic generation guidelines issued by the RMS.

Water

- A reticulated potable (public) water supply shall be provided by Goldenfields Water County Council.
- Cost effective micro irrigation systems may be connected to the public water supply provided there is a vacuum breaker at the water connection.
- Public water supplies are not to be inter-connected to rain water tanks.

These sections re-distributed in other parts of the proposed amended document. Significant changes are noted alongside new text.

- Where an industrial or commercial connection is made to a public water supply, back flow contamination prevention devices will be required according to the degree of hazard for the building use.
- Pressure release valves will be required to hot water systems.
- Anti scalding/tempering valves are required to hot water systems where there is occupation of the buildings by children, the aged or infirmed. The bathroom and ensuite hot water service in all other residential accommodation shall be set not to exceed 50°C.

Electricity and Telephone

- Electricity and telephone services shall be connected by underground services to each allotment. The older established areas may have the concessions of existing overhead aerial services.
- Service locations should be obtained from the respective utility authority and service providers to ensure services are available.

Stormwater

- Stormwater disposal shall be to piped stormwater easements or the street kerb and gutter as provided for any dwelling residential building, commercial or industrial building.
- On site surge pits may be acceptable in the villages if the allotment size is adequate. Inconvenience or affectation upon the adjoining property is not acceptable. Inconvenience or affectation on the adjoining property is not acceptable. Surge pits will not be accepted in the Junee township due to the presence of acid sulphate ground water and high water tables.
- Where the terrain does not permit the gravity flow of stormwater to a public place or road, stormwater may be directed to a collection tank that has a design capacity for the initial 10 minutes duration of a 1 in 5 year rainfall intensity for the locality. The collection tank shall be fitted with a float switch and for pumping of the collected stormwater to a public place or road table drain.

6.4.2 BUILDING STANDARDS

- Cut and fill – preparation of the site should be minimal. If retaining walls exceeding 600mm in height are necessary, these should be designed by a structural engineer allowing for drainage of ground waters from behind the retaining wall.

These sections re-distributed in other parts of the proposed amended document. Significant changes are noted alongside new text.

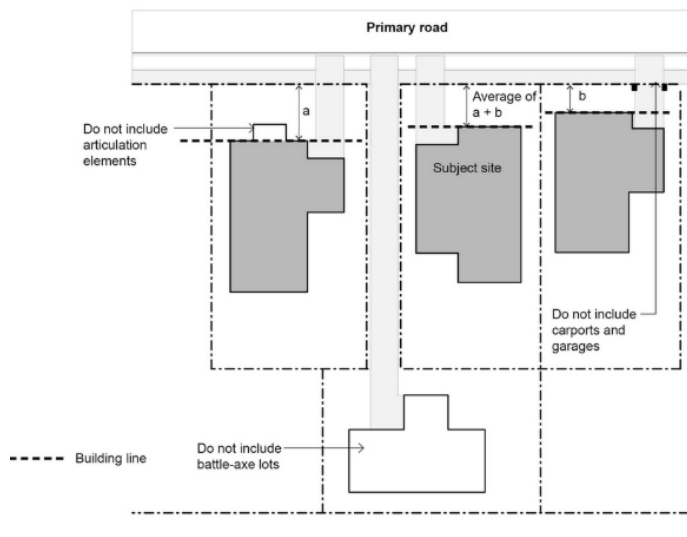
Repositioned content

Preference is for 1:3 batter slopes to be utilised that are suitably retained with landscaping.

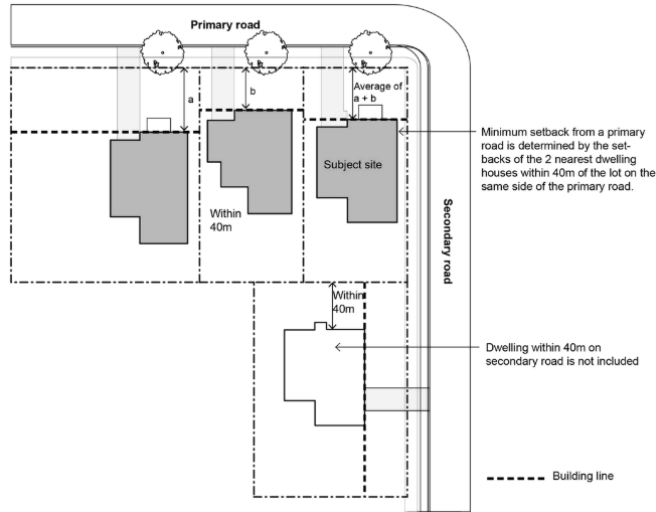
Minimum building line setbacks to Primary and Secondary road frontages

- **Primary road setbacks**
 - a. the primary road setback of a dwelling house and any attached development must not be less than the average primary road setback of the 2 nearest dwelling houses on the same side of the primary road,
 - b. for the purpose of determining the primary road setback of the 2 nearest dwelling houses, the following are not to be included:
 - i. dwelling houses on battle-axe lots,
 - j. any attached development or detached development on other lots,
 - k. building elements in the articulation zone,
 - c. if there are not two dwelling houses within 40 metres of the lot on the same side of the primary road, the dwelling house and any attached development must have a minimum setback from the primary road as shown in the following table:

Lot Size	Minimum setback from primary road
Up to 1,500m ²	4.5 metres
Greater than 1,500m ²	10 metres



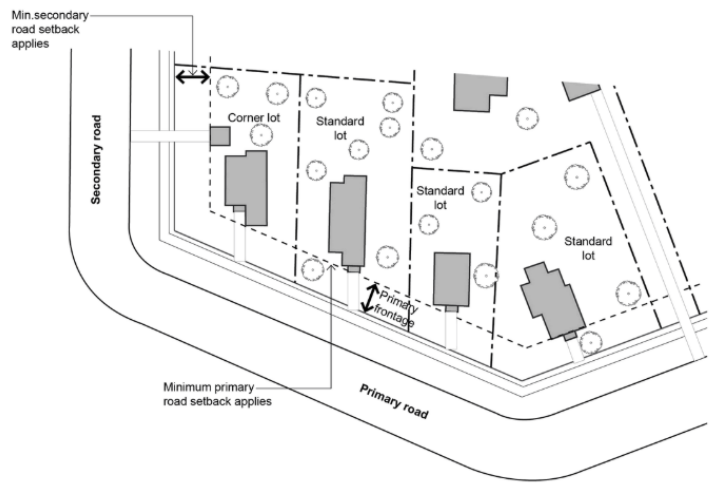
These new setback controls align with (mimic) the Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.



These new setback controls align with (mimic) the Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

- **Secondary road setbacks**
 - a dwelling house and any attached development must have a minimum setback from a boundary with a secondary road as shown in the following table;
 - b.

Lot Size	Minimum setback from secondary road
Up to 1,500m ²	3 metres
Greater than 1,500m ²	5 metres



Articulation Zones

Articulation Zone means an area of a lot forward of the building line within which building elements are permitted to be located, being an area measured from:

- (a) one side boundary of the lot to the opposite side boundary of the lot, or
- (b) if the lot is a corner lot—the secondary road boundary of the lot to the boundary opposite the secondary road boundary.

Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

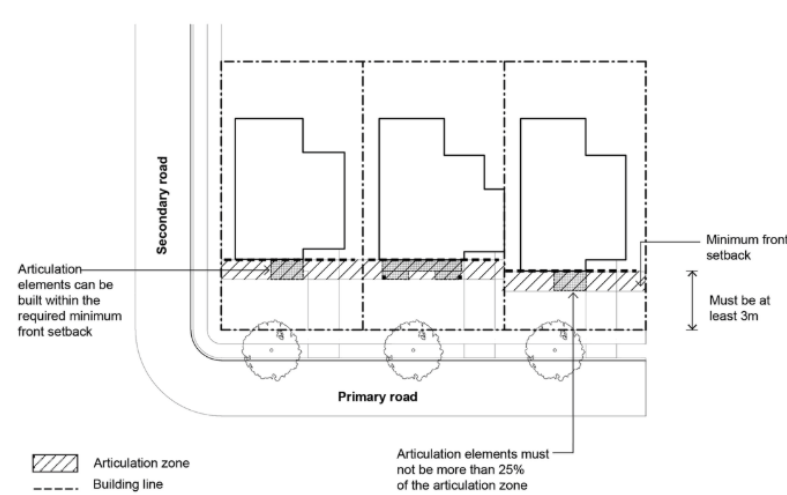
- **Primary road frontages**

A dwelling house may have an articulation zone that extends up to 1.5 metres forward of the minimum required setback from the primary road.

a. the following building elements may be located in the articulation zone

- i. an entry feature or portico**
- ii. a balcony, deck, patio, pergola, terrace or verandah**
- iii. a window box treatment**
- iv. a bay window or similar feature**
- v. an awning or other feature over a window**
- vi. a sun shading feature**
- vii. an eave**

b. the maximum total area of all building elements in the articulation zone, other than a building element specified in subclause (b)(v)(vi)(vii) above, must not be more than 25% of the area of the articulation zone.



c. A building element on a dwelling house (other than a pitched roof to an entry feature or portico that has the same pitch as the roof on the dwelling house) must not exceed:

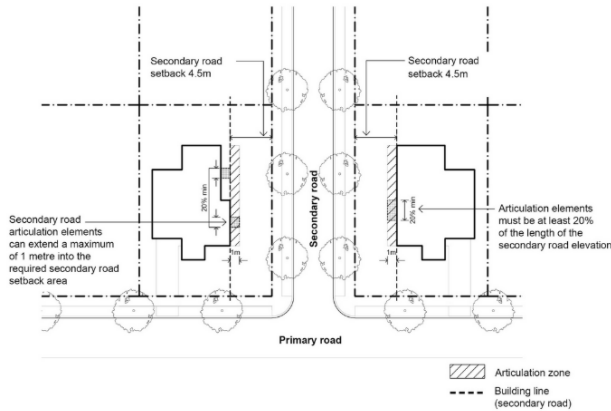
- i. More than 1 metre above the gutter line of the eaves of a single storey dwelling house**
- ii. Above the gutter line of the eave of a 2 storey dwelling house.**

- **Secondary road frontage on corner lots.**

Building elements listed in subclause (b) above may be located in a secondary road articulation zone if:

Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

- a. the zone extends no more than 1 metre into the minimum required setback area and spans the length of the walls that face the secondary road, and
- b. the building element comprises no more than 20% of the zone area.



Exceptions to setbacks

- Development to which road setback do not apply – The standards specified above do not apply to the following:
 - a. eaves if they constructed within 1 metre of the dwelling
 - b. driveways,
 - c. pathways and paving.
 - d. retaining walls,
 - e. any building elements that are permitted within a primary or secondary articulation zone

Other Controls

- The maximum number of storeys permitted upon any residence is two within the building envelope as specified by the Council.
- Outbuildings shall be a maximum height of 4.8m at the highest part of the structure.
- Buildings should be sited and designed to ensure:
 - a. reasonable daylight to habitable rooms and adjacent dwellings.
 - b. overshadowing of neighbours including open space and main living area windows is kept to a minimum, and
 - c. solar access is available to living rooms between the hours of 9.00am and 5.00pm for a minimum of three hours on 21 June of each year.
- Front walls of any dwelling visible from the street shall not exceed 5 metres in length without a physical change, i.e. window or a directional change.

Additions mimic Complying Development SEPP. This will result in improved consistency in outcome where a mix of DA-approved and CDC-approved development occurs.

New content mimicking existing and new controls in Chapter 5 John Potts Estate

- Blank street frontages facades with no windows shall not be permitted. The side walls in any one dwelling visible from the street or public place shall not exceed 10 metres in length without a physical change.
- A shadow diagram is required where orientation, slope of site, or distance between the buildings create the potential for overshadowing.
- The shadow diagram shall include the following:
 - a. North point
 - b. Scale
 - c. Position of existing and proposed buildings and private open space on the site
 - d. Position of existing buildings and private open space on adjoining land
 - e. Shadows cast on existing and proposed buildings at the winter solstice – 21st June for 9.00am, 12 noon and 3.00pm.
- The use of zincalume or shiny building materials will not be permitted on houses and outbuildings.
- The area and size of any outbuilding shall not exceed the area and size of the residence upon the allotment.
- Habitable room windows of adjacent dwellings within a distance of 9 metres:
 - a. should be offset by a suitable distance to limit views between windows; or
 - b. should have sill heights of 1.7 metres above floor level; or
 - c. should have fixed translucent glazing in any part of the window within 1.7 metres of the floor height; or
 - d. should use other means to obscure the view between windows.
- The siting of elevated landings and verandahs or a swimming pool should not adversely impact upon the privacy and enjoyment of the adjoining residential allotments. This extends to any noise generating equipment associated with the operation of a swimming pool.
- Existing building intended to be re-sited or relocated to lands within this plan will not be permitted.
- Boundary fences shall:
 - a. not be higher than 1.8 metres above ground level (existing), and
 - b. not be of masonry construction to a height that is more than 1.2 metres above ground level (existing), and

New content mimicking existing and new controls in Chapter 5 John Potts Estate

- c. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - d. not to be electrical fence or barbed wire
- Fences located along the boundary of, or within the setback area to a primary road must:
 - a. not to be higher than 1.2 metres above ground level (existing)
 - b. be open for at least 20% of the area of the fence that is more than 400 millimetres above ground level (existing), with any individual solid elements of the fence above this height being no more than 350 millimetres in width with a minimum aperture of 25 millimetres.
 - c. if it includes an entrance gate – does not have a gate that opens outwards onto the road reserve, and
 - d. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - e. not to be electrical fence or barbed wire
- Fences located along a boundary with a secondary road or roads must:
 - a. not to be higher than 1.2 metres above ground level (existing) for a length of not less than 50% of the secondary road boundary, measured from the corner with a primary road.
 - b. if it includes an entrance gate – does not have a gate that opens outwards onto the road reserve, and
 - c. if constructed of metal components – be of low reflective, factory pre-coloured materials, and
 - d. not to be electrical fence or barbed wire.
- Fences on sloping sites that are stepped to accommodate the fall in the land may:
 - a. for fences that are required to be not more than 1.2 metres in height shall not exceed 1.5 metres above ground level (existing) at each step, and
 - b. for fences that are required to be not more than 1.8 metres in height shall not exceed 2.2 metres above ground level (existing) at each step.
- No landscaping is permitted on corner intersections within a splay of 9 metres at the property boundary intersection that obscures sight visibility of vehicles at that intersection.
- The siting of landscaping should recognise that the height of mature plants, shrubs or trees should not remove the entitlement of adjoining allotments for solar access to living rooms, bedrooms and equipment, i.e. solar heaters. The location of trees which will mature would be considered on

New content mimicking existing and new controls in Chapter 5 John Potts Estate

their merits if the plantings would have some benefits to the adjoining property owner such as western shade.

- The front building setback shall have landscaping to at least 50% of the area.
- Driveways and off street parking shall occupy no more than 50% of the area.

6.4.3 RESTRICTIONS

~~Second hand materials~~

- ~~The use of second hand materials is considered on its merits relevant to the circumstances and the surrounding development. If the material is structurally sound and the condition reasonably new or it becomes painted on installation second hand material may be acceptable.~~

~~Re-sited or Relocated Houses~~

- ~~Proposals to re-site an existing house structure are considered on the merits and compatibility of the surrounding development.~~
- ~~An inspection of the structure before moving is required. A Management Plan for transport and public risk insurance for movement of the structure over a public road is required.~~
- ~~Some older houses involve asbestos products and require special procedures. Re-sited structures may require additional work and a performance bond for completion of the building will be specified.~~

~~Temporary Occupation of a caravan or garage during building~~

- ~~Council does not permit temporary occupation during building or construction in the RU5 Village Zone.~~

6.4.3 RESTRICTIONS

The following prohibitions and restrictions apply to the land (in addition to the LEP RU5 zone tables):

- No horse stables.
- Fowl and poultry keeping is to be limited to a maximum of 10 fowl or poultry and rooster are prohibited.
- No bee keeping.

New content mimicking existing and new controls in Chapter 5 John Potts Estate

Restrictions amended as below

The LEP imposes a number of restriction in the RU5 zone which don't need to be repeated in the DCP. These are removed leaving only the desired additional restrictions specific to the John Potts Estate.

- Industrial activities are not permitted

6.4.4 UNIT DEVELOPMENT

Siting and Design

- The siting of any unit development will require consideration as to the size of the allotments and impacts upon existing and future development.
- Corner allotments where frontages can be independent.
- Battle-axe or hatchet shaped allotments where the development may have limited impact on the streetscape.
- Larger sized allotments where siting is effective to overcome impacts of amenity.
- Frontages which may have undesirable facades dominated by driveways and car parking facilities would be unacceptable.
- The frontage of any site should not exceed 50% with paved areas.
- Frontages to the streetscape are to provide for variety in design and are not dominated by undesirable facades, driveways and car parking facilities.
- Multi-unit development shall in the design consideration include an assessment of Crime Prevention strategies.

Allotment size

- The land area for each unit occupancy requires a minimum site area of:
 - a) 400 square metres for each “**large dwelling unit**”
 - b) 300 square metre for each “**medium dwelling unit**”
 - c) 250 square metres for each “**small dwelling unit**”

(Note: The nominal area calculation does not allow for other issues of setback or shadow line impact on adjoining properties and on site car parking requirements.)

Private open space

- For unit development, private open space to ground floor units shall have a consolidated area 50 square metres, areas having a minimum dimension of 4m x 4m.
- Private open space for upper levels shall be 10 square metres for each unit and have minimum dimensions of 2m x 2.5m.

Unit Development section amended below to be consistent with Chapter 5 John Potts Estate except for smaller nominal allotment sizes.

- Private open space shall not include driveways, turning areas, car spaces, or narrow elongated curtilage areas and service areas. Screening shall be provided to ensure privacy to users of the open space.

Access and car parking

- For multiple unit development site manoeuvrability area has to be provided to enable entry and exit from the site in a forward direction.
- Where a unit development subdivision is proposed for five or more units, the road access shall have the appropriate dimensions and construction for traverse by service vehicles including garbage trucks and emergency services such as fire brigade and ambulances.
- Car parking needs on site shall be provided according to the style of development and number of bedrooms.
 - a. A **large dwelling unit** — two secured car spaces.
 - b. A **medium dwelling unit** — 1.5 secured car spaces.
 - c. A **small dwelling unit** — 1 secured car park space.
- Visitor car parking for a unit development shall be determined at 0.5 of a space for each unit above two unit tenancies. Where there is a fraction of a space, the requirement is rounded up to the total higher number.
- Where new development is proposed, on site car parking including visitor car parking shall be provided behind the street setback.
- Driveway widths — where there is a unit development, the driveway width shall be 3.5m. Where there are more than two units on the allotment, the driveway width shall be 6m wide between the property boundary and the kerb line.
- Where the driveway services 5 or more units, a 6m wide passing bay shall be included within the site.

Services

- Services shall be provided to each allotment and each unit shall:
 - a. be capable of being independently metered for consumption of water, electricity, gas,
 - b. have a stop cock to the water service to enable individual unit service repairs to occur without disruption to supply to other associated units,
 - c. have a separate surcharge gully with the nominal surcharge gully not located in the exclusive private open space of an individual unit, and

Unit Development section amended below to be consistent with Chapter 5 John Potts Estate except for smaller nominal allotment sizes.

d. hot water services shall not be shared between units.

6.4.4 UNIT DEVELOPMENTS

- Design of frontages to the streetscape provides for variety and shall not be dominated by undesirable facades, driveways and car parking facilities.
- The land area for each unit occupancy requires a minimum site area of:
 - 400 square metres for each “**large dwelling unit**”
 - 300 square metre for each “**medium dwelling unit**”
 - 250 square metres for each “**small dwelling unit**”

(Note: The nominal area calculation does not allow for other issues of setback or shadow line impact on adjoining properties and on-site car parking requirements).
- For multiple unit development site manoeuvrability area has to be provided to enable entry and exit from the site in a forward direction.
- For unit development, private open space to ground floor units shall have a consolidated area 50 square metres, areas having a minimum dimension of 4m x 4m.
- Private open space for upper levels shall be 10 square metres for each unit and have minimum dimensions of 2m x 2.5m.
- Private open space shall not include driveways, turning areas, car spaces, or narrow elongated curtilage areas and service areas. Screening shall be provided to ensure privacy to users of the open space.
- Where a unit development subdivision is proposed for five or more units, the road access shall have the appropriate dimensions and construction for traverse by service vehicles including garbage trucks and emergency services such as fire brigade and ambulances.
- Car parking needs on site shall be provided according to the style of development and number of bedrooms:
 - **A large dwelling unit**– two secured car spaces
 - **A medium dwelling unit** – one secured car spaces
 - **A small dwelling unit** – one secured car park space
- Visitor car parking for a unit development shall be determined in accordance with NSW Roads and Maritime Services (RMS) guidelines.

Unit Development section amended below to be consistent with Chapter 5 John Potts Estate except for smaller nominal allotment sizes.

- Where new development is proposed, on site car-parking including visitor car parking shall be provided behind the street setback.
- Driveway widths – where there is a unit development, the driveway width shall be 3.5m. Where there are more than two units on the allotment, the driveway width shall be 6m wide between the property boundary and the kerb line.
- Where the driveway services 5 or more units, a 6m wide passing bay shall be included within the site.
- Services shall be provided to each allotment and each unit shall:
 - be capable of being independently metered for consumption of water, electricity, gas,
 - have a stop cock to the water service to enable individual unit service repairs to occur without disruption to supply to other associated units,
 - have a separate surcharge gully with the nominal surcharge gully not located in the exclusive private open space of an individual unit, and
 - hot water services shall not be shared between units.
- Multi-unit development shall in the design consideration include an assessment of Crime Prevention strategies.
- Where development of high value in both design and size are outside of the listed criteria a pre-lodgement development meeting should be sought with Council.

Unit Development section amended below to be consistent with Chapter 5 John Potts Estate except for smaller nominal allotment sizes.